

PLAN SUBMITTAL REQUIREMENTS FOR RESIDENTIAL AND COMMERCIAL PROJECTS

CITY OF HERMOSA BEACH, COMMUNITY DEVELOPMENT DEPARTMENT

SUBMIT PROJECTS TO THE COMMUNITY DEVELOPMENT DEPARTMENT, PLANNING DIVISION

IMPORTANT NOTICE: COMPLETE AND ACCURATE PLAN SUBMITTALS ARE REQUIRED. SOME ITEMS NOTED BELOW MAY BE WAIVED BY THE CITY FOR CERTAIN PROJECTS. IF YOU HAVE QUESTIONS IF ALL THE DATA NOTED BELOW WILL BE NECESSARY, CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT STAFF AT (310) 318-0242, MONDAY – THURSDAY, 7:00 AM – 6:00 PM.

All applications must be reviewed by a Planner at the counter to determine if the application requirements listed herein are provided and whether the application is acceptable to conduct a plan review. If the application is missing required information then the application will not be accepted for review. The Community Development Department, Planning Division, will review architectural plans for compliance with the City Municipal Code and may request additional information as required.

City staff will conduct site visits for all projects. In addition, for Accessory Dwelling Units (ADUs) and Junior Accessory Dwelling Units (JADUs) city staff will schedule an interior inspection and site visit shortly after receiving a completed application.

- A. **COMPLETED BUILDING PERMIT APPLICATION FORM.** This must include the property owner's name, phone number and email address.
- B. **CIVIL ENGINEERING PLANS:** Construction of: (a) any commercial or industrial building or residential dwelling structure, or addition thereto, exceeding four hundred (400) square feet in floor area, or (b) any accessory building greater than fifty percent (50%) of the square footage of the existing main building, shall submit Civil Engineered plans at time of initial plan submittal. Please consult with the Public Works Department for Civil Plan Submittal requirements. Plans must be reviewed and signed by the Public Works Department prior to the Community Development Department accepting plans for plan check review.
- C. **ONE (1) SET OF ARCHITECTURAL PLANS (24" x 36" size).** Additional plan sets and sizes may be required after plans have been fully reviewed.
 1. **Topographical Lot Survey OR Lot line Survey.** Include a copy of the survey in the plan set and submit the original wet stamped survey folded to approximately 8 ½" x 11" separate from the plans. ***Please contact a Planner to determine what type of survey is required based on the entire scope of work.***
 - a. **One (1) copy of Topographical Lot Survey** showing all existing improvements, adjacent sidewalk, curb, street improvements, provide property corner elevations, identify property corner elevations as XX.XX P.C., provide lot dimensions, and adjacent property elevations. Survey must be wet stamped and signed by a Civil Engineer or licensed Land Surveyor. (Topographical lot survey shall be recent, but no more than a year old.) OR
 - b. **One (1) copy of Lot Line Survey** showing all existing habitable and non-habitable structures, dimensions from all existing habitable and non-habitable structures to the property lines and lot line dimensions. Survey must be wet stamped and signed by a Civil Engineer or licensed Land Surveyor. (Lot line survey shall be recent, but no more than a year old.)
 2. **CD with a single file PDF of the Architectural Plans, Topographical/Lot line Survey (if applicable) and site photos. THIS IS REQUIRED FOR ALL INITIAL SUBMITTALS AND RESUBMITTALS.**
 3. **A detailed project description/ scope of work must be provided on the cover sheet.**
 4. **A fully completed Project Summary Table must be provided on the cover sheet for all projects. Basement Qualification Calculations are only required for projects proposing two stories and a basement.**
 5. **Site photos of all sides of all structures on the property, yards, parking areas and site surroundings.**

6. Existing and Proposed Full Site Plan must include all of the following:

North arrow	Curb cuts with dimensions (including both sides of the street and/or alley)	Yard and landscape elements such as water features, BBQs, planters, benches, sheds, trellis, etc.
Scale	On-street parking plan with dimensions (consult with Public Works Department)	Dimensions, vertical clearance and square footage of storage areas (for condos only)
Street/alley names	Driveway slope profiles and percentages*/ 3 profiles required if slope is greater than 5%	Dimensions of eave overhangs and dimension from eave fascia to property lines
Property lines with lot dimensions consistent with lot survey	Open space areas with dimensions, square footages and percentage of areas covered	Solid waste disposal facilities for commercial projects
Property corner elevations consistent with lot survey labeled PCXX.XX	All fence and wall (heights and materials)	Finished floor elevations
Building dimensions	Trash enclosure to fit 3 bins size 2.5'x2.5' per bin (single-family)	Existing and finished grade elevation notations:
All existing, required and proposed setbacks to all structures	Mechanical equipment (such as AC units, pool equipment, etc.)	<i>Property Corner (P.C.)</i>
Parking stall vehicle symbols	Meters (water, gas, electrical etc.) must not encroach into required setbacks	<i>Top of Curb (T.C.)</i>
Parking space dimensions (clear space)		<i>Back of Walk (B.W.)</i>
Turning area measured from garage door face to back of alley or street (or to street parking space)		<i>Top of Wall (T.O.W.)</i>
Lot coverage diagram (may be required based on complexity of project)		<i>Bottom of Wall (B.O.W.)</i>
		<i>Finished Grade, Surface, Floor, and Garage (F.G.) (F.S.) (F.F.) (F.Gar.)</i>

****Effective January 29, 2007, driveway slope certification from a licensed surveyor or civil engineer shall be required to verify that the grade elevation of the parking/garage slab is consistent with the elevation on the approved plans. This elevation certification shall be required before the Building Inspector approves the forms for pouring concrete for the garage slab and/or driveway.***

7. Existing and Proposed Full Floor Plans must include all of the following:

North arrow	Open space areas with dimensions, square footages and percentage of areas covered	Storage areas (for condos only)
Scale	Parking stall vehicle symbols	Dimensions of eave overhangs and dimension from eave fascia to property lines
Street/alley names	Parking space dimensions (clear space) from garage door face and inside of walls	Finished floor elevations
Property lines with lot dimensions consistent with lot survey	Stairways (new or modified stairways must meet the definition of dwelling unit provided in HBMC Section 17.04)	Identification and dimensions of all rooms
Property corner elevations consistent with lot survey labeled PCXX.XX	Garage door opening width(s) and height(s)	Include all fixtures such as kitchen appliances kitchen sink with garbage disposal vs. wet bar sink, under counter fridge and restroom fixtures
Building dimensions		
Demolition plan with wall legend		
All existing, required and proposed setbacks to all structures		

Existing floor plans are required for additions, remodels, and Accessory Dwelling Units (ADUs) and must include ALL of the information requested above.

8. Existing and Proposed Full Roof Plans must include all of the following:

North arrow	Building dimensions	Chimney, fireplace, vent/flue manufacture specifications
Scale	Dimensions of eave overhangs and dimension from eave fascia to property lines	Roof slopes
Street/alley names	Critical point maximum allowed/proposed elevations	Include roof deck BBQs, spas, furnishings, planters and plantings which must comply with the height limit (specifications may be required)
Property lines with lot dimensions consistent with lot survey	Dimensions (width and depth) of architectural encroachments projecting into required setbacks and distances to property lines.	
Property corner elevations consistent with lot survey labeled PCXX.XX		
All existing, required and proposed setbacks to all structures		

9. Existing and Proposed Full Elevations must include all of the following:

Scale	Straight line interpolated grade between property corners	Finished grade
Views of all sides of all structures with building elevation (north, east, south, west) identified	Height profile lines to show existing and proposed wall and fence heights	Finished floor elevations
Property lines with lot dimensions consistent with lot survey	Garage door opening width(s) and height(s)	Existing, proposed and maximum roof elevations at critical points
Property corner elevations consistent	Vertical clearance from driveway	

with lot survey labeled PCXX.XX

surface to projections and cantilevers
above

10. Landscape Plan must include all of the following:

Scale	All fence and wall (heights and materials)	Existing trees with trunk diameter (specify any trees proposed to be removed)
North arrow	Driveways and paths	Landscape and hardscape legend
Property lines with lot dimensions consistent with lot survey	Mechanical equipment (such as AC units, pool equipment, etc.)	Plant common and botanical names
Property corner elevations consistent with lot survey labeled PCXX.XX	Yard and landscape elements such as water features, pools, spas, BBQs, planters, benches, sheds, trellis, etc.	Plant symbols
Building footprint with square footage and building dimensions	Hardscape, landscape and permeable areas (materials, dimensions and square footage of each)	Plant sizes
All existing, required and proposed setbacks to all structures		Plant water usage
		Automatic irrigations system and specifications required for all landscape areas

Attachments:

1. Project Summary
2. Example Site Plan
3. Example of Roof Plan with Critical Point Information
4. Example Landscape Plan
5. Project Summary and Basement Qualification Calculation
6. Civil Engineering Plan Requirements
7. Plan Check Flow Chart

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PROJECT SUMMARY

PROJECT LOCATION: _____

LEGAL DESCRIPTION: _____

ASSESSOR PARCEL NO.: _____

ZONING: _____

SCOPE OF WORK: **PLEASE SELECT ALL APPLICABLE AREAS OF WORK:**

NEW SINGLE-FAMILY	PATIO COVER
ADDITION	TRELLIS
ACCESSORY DWELLING UNIT	POOL/SPA
REMODEL	STORAGE UNIT
EXTERIOR MODIFICATIONS	SHED
ROOF MODIFICATIONS	MECHANICAL EQUIPMENT (A/C, WATER HEATER)
DRIVEWAY MODIFICATIONS	UTILITY METERS (WATER, GAS ETC.)
OTHER:	

Description:

GENERAL BUILDING INFORMATION (NOTE: FOR ADDITION AND REMODEL PROJECTS, PLEASE PROVIDE INFORMATION FOR EXISTING AREA AND ADDED AREA.)

	Existing	Proposed
GARAGE (INTERIOR DIMENSIONS)		
1ST LEVEL LIVING AREA		
2ND LEVEL LIVING AREA		
DECKS/BALCONIES		
3RD LEVEL LIVING AREA		
DECKS/BALCONIES		
TOTAL LIVING AREA		
TOTAL DECKS/BALCONIES		
NO. OF BEDROOMS		
NO. OF BATHROOMS		

ZONING INFORMATION

REQUIRED

PROVIDED

AREA:	REQUIRED	PROVIDED
LOT AREA		
LOT COVERAGE		
YARDS:		
FRONT		
SIDE		
REAR		
PARKING AND DRIVEWAYS:		
NUMBER OF SPACES		
GUEST SPACES		
PARKING SETBACK		
PARKING STALL DIMENSION		
TURNING AREA		
DRIVEWAY WIDTH		
DRIVEWAY MAXIMUM SLOPE		

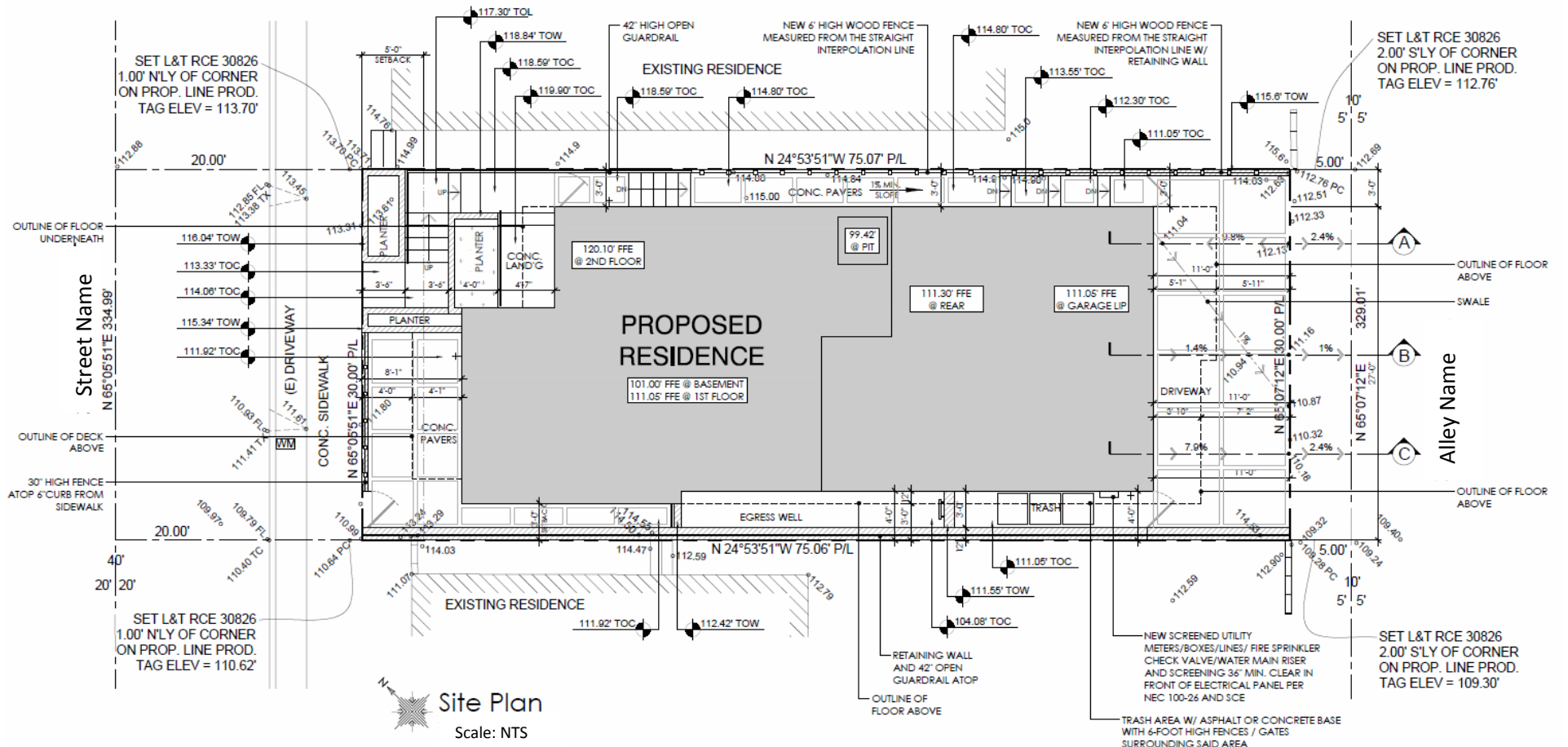
OPEN SPACE:		
ON GRADE		
DECKS/BALCONIES		
TOTAL		

BASEMENT QUALIFICATION CALCULATION
(REQUIRED FOR ALL PROJECTS PROPOSING TWO STORIES AND BASEMENT)

1ST LEVEL F.F. ELEVATION	
LINEAL FEET (LF) OF PERIMETER	
LF OF PERIMETER <6' FROM GRADE TO F.F. ABOVE	
% OF PERIMETER < 6' to FF ABOVE	

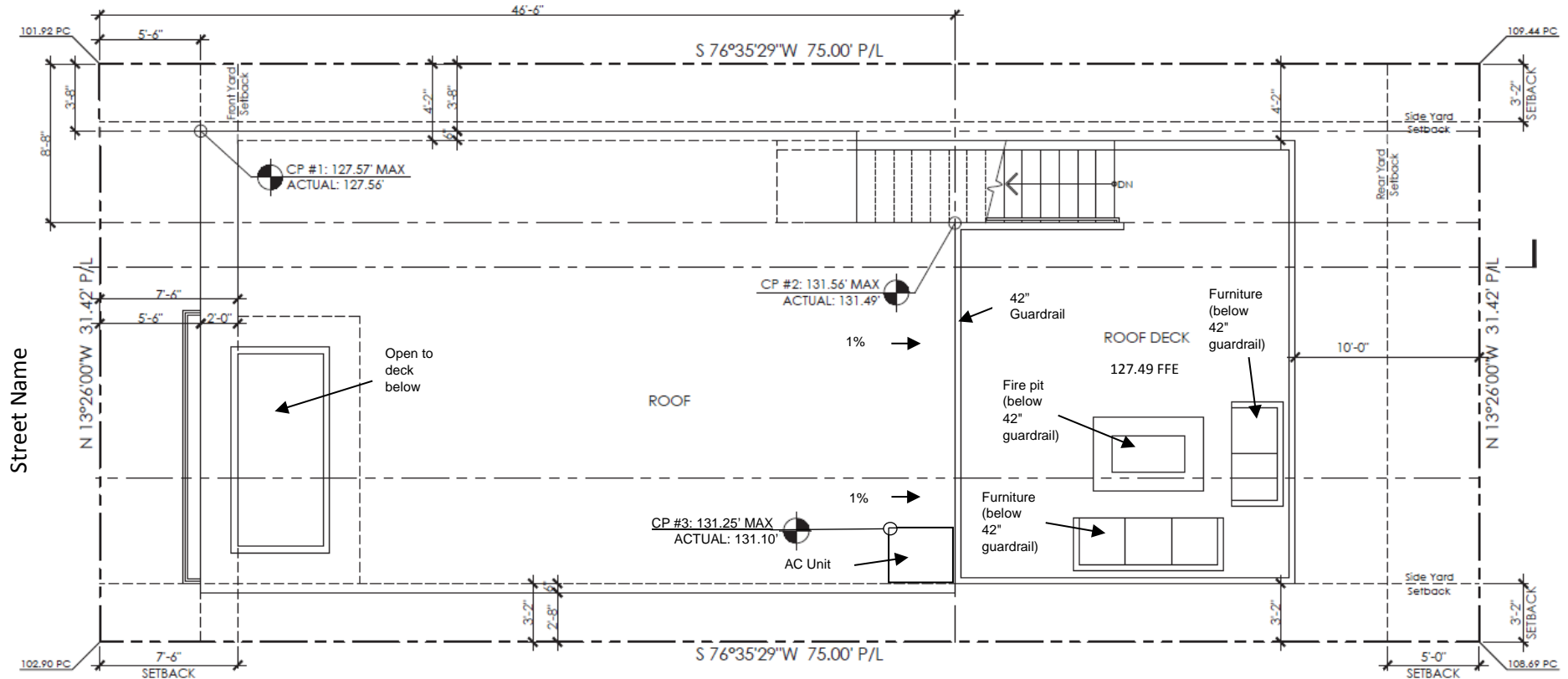
f:\b95\cd\forms-handouts\application\PlanSubmittalHandout_Res&Com\Word_IndividualSheets\Project Summary (2018)

Example Site Plan



CONDUIT WILL BE PROVIDED FROM THE ROOF TO THE ELECTRIC SERVICE PANEL TO ACCOMMODATE FOR FUTURE SOLAR INSTALLATION(S) PURSUANT TO HBMC SECTION 15.32.140.

Example of Roof Plan with Critical Point Information



Please identify all permanent structures on the roof plan. Ex. built in barbeque grill, spas, furniture, etc.



ROOF PLAN

Scale: NTS

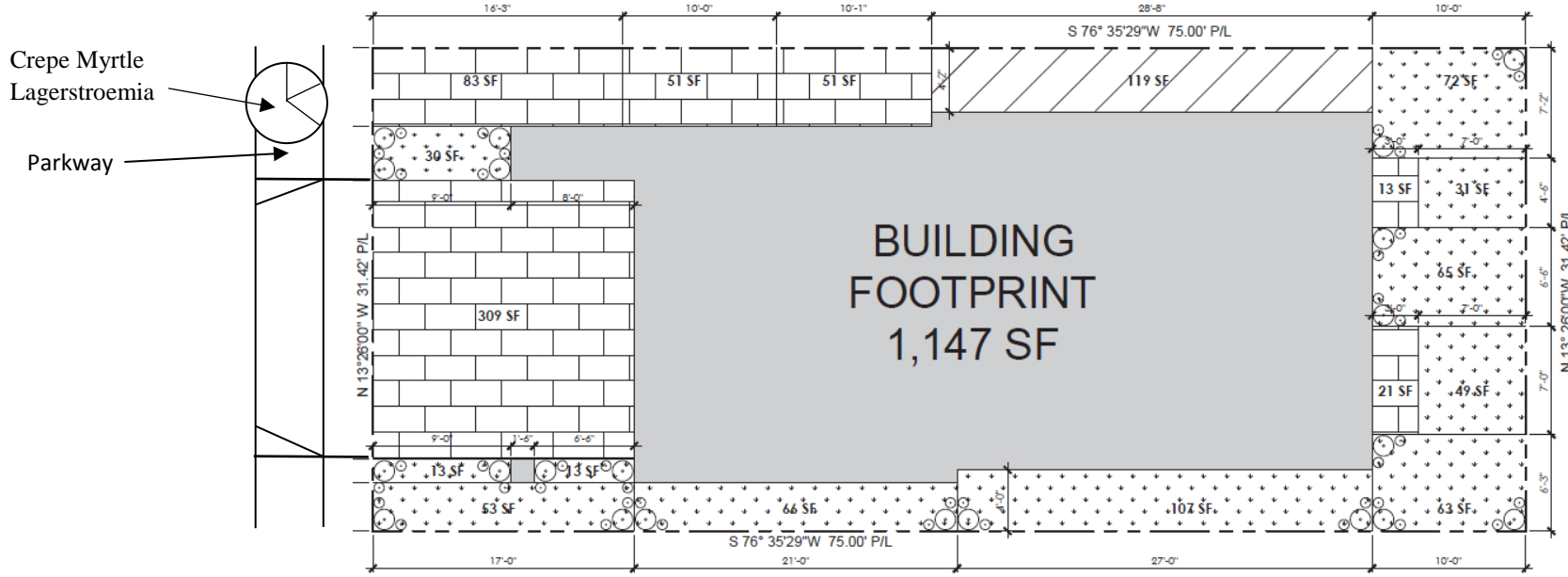
Note:

- Pursuant to Hermosa Beach Municipal Code Section 17.46.010 B, residential uses may have chimneys, vents and flues exceed the height limit only to the extent required to meet the California Building Code requirements. If the chimneys, vents and flues exceed the height limit, please attach manufacture specification on the plans.

Example Landscape Plan

City of Hermosa Beach Landscaping Requirements

Hermosa Beach Municipal Code (HBMC) Sections 8.60 and 8.44



Symbol:	Vegetation Type:	Botanical Name:	Common Name:	Regional Eval. Water Needs:	Size:	Diameter (planting/matured):	Height (planting/matured):	Quantity:
	TREE	ACACIA CULTRIFORMIS	KNIFELEAF ACACIA	LOW	24X24 BOX	3" TO 8" Ø	10'-0" TO 15'-0"	0
	FLOWER	GALVEZIA SPECIOSA FIRECRACKER	ISLAND SNAPDRAGON	VERY LOW	5 GALLON	3'-0" WIDE	2'-0" TO 3'-0"	20
	SHRUB	EURYOPS PECTINATUS	EURYOPS/SHRUB DAISY	LOW	5 GALLON	MASS PLANTING (3-4 FT APART)	9"-12"	40

Lot square Footage: 2,356 sq. ft.
Building Footprint: 1,147 sq. ft.
Driveway: 309 sq. ft.
Total Exterior Surface Area=Lot Sq. Ft - Building Footprint
 =2,356 sq. ft. - 1,147 sq. ft.

Maximum 20% of landscaped area may be used for high water use landscape (turf and plants) as listed in the Water Use Classification for Landscape Species (WUCOLS)

562 sq. ft. (landscaped areas) x 20% (max high water use)
 Max high water use =112.4 sq. ft.
 =0 sq. ft. proposed <112.4 sq. ft.

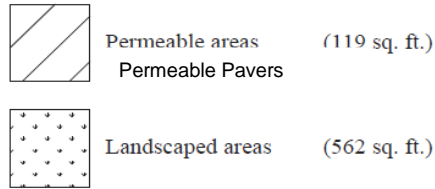
Minimum 50% of exterior surface area must consist of water permeable surfaces as required in HBMC.

Permeable Areas: 681 sq. ft.
 Nonpermeable Areas: 528 sq. ft.

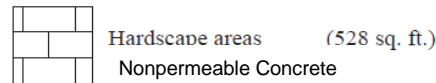
Permeable Areas 681 sq. ft./ 1,209 sq. ft. = 56% permeable

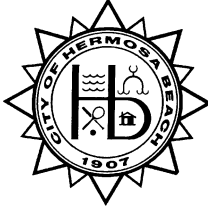
LANDSCAPE PLAN
 SCALE: NTS

Water Permeable Surface Area(s)



Impervious Surface Area(s)





City of Hermosa Beach

Civic Center, 1315 Valley Drive, Hermosa Beach, California 90254

BASEMENT QUALIFICATION CALCULATION

	DWELLING	ACCESSORY
1 ST LEVEL FINISHED FLOOR ELEVATION		
LINEAL FEET OF PERIMETER		
LINEAL FEET OF PERIMETER <6 FEET FROM GRADE TO FINISHED FLOOR ABOVE		
PERCENT OF PERIMETER <6 FEET TO FINISHED FLOOR		

City of Hermosa Beach
Community Development Department (310) 318-0242

**PLAN SUBMITTAL FOR DRIVEWAY SLOPES:
NEW RESIDENTIAL, COMMERCIAL, OR INDUSTRIAL PROJECTS, AND
ALL PROJECTS WITH NEW GARAGES AND DRIVEWAYS**

The City of Hermosa Beach requires that driveway slopes not exceed 12.5% from the back-of-sidewalk to the garage face, and 2% from back of existing or future public improvements (curb, gutter, and sidewalk). Plans are rejected if the driveway exceeds the slope maximum allowed by Municipal Code Section 17.44.120(D).

Civil Plans for Improvements of 400 Square Feet or Greater:

All proposed driveway alterations and/or additions and remodels that are equal to or exceed 400 square feet¹ submit civil engineered plans. Civil engineered plans shall be prepared, signed, and stamped by a Civil Engineer licensed in the State of California and include:

- Elevation at street flow line
- Elevation at back of walk
- Elevation of flow line a minimum of fifty feet (50') on either side of property
- Elevation at garage face
- All on site drainage, including sump pumps
- Elevation of top of curb
- Elevation at center of street
- Elevation at driveway center at centerline
- Specify precise slope for driveway
- Elevation at trench drain
- Location of all new and existing underground utilities (New sewer laterals shall include invert elevations at the property line and at the connection to the main)

No driveway approach shall be constructed less than two feet (2') from edge of driveway apron (please refer to attachment) to any obstruction including power poles for residential and four feet (4') for commercial.

Plan Submittal for Driveways with Slope of 5% or Greater:

To ensure continuous vehicular access from the garage or parking space to the Public Right-of-Way, Plan submittal for driveways that have a straight grade of 5% or greater measured from the parking space or garage floor to the back of sidewalk (which is a minimum of 7-inches above flow-line at curb) shall include the following:

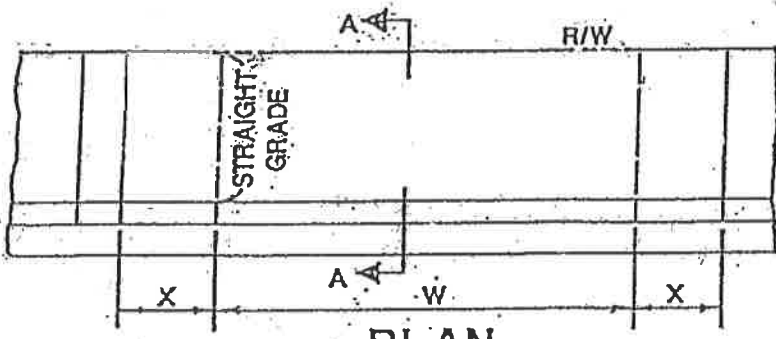
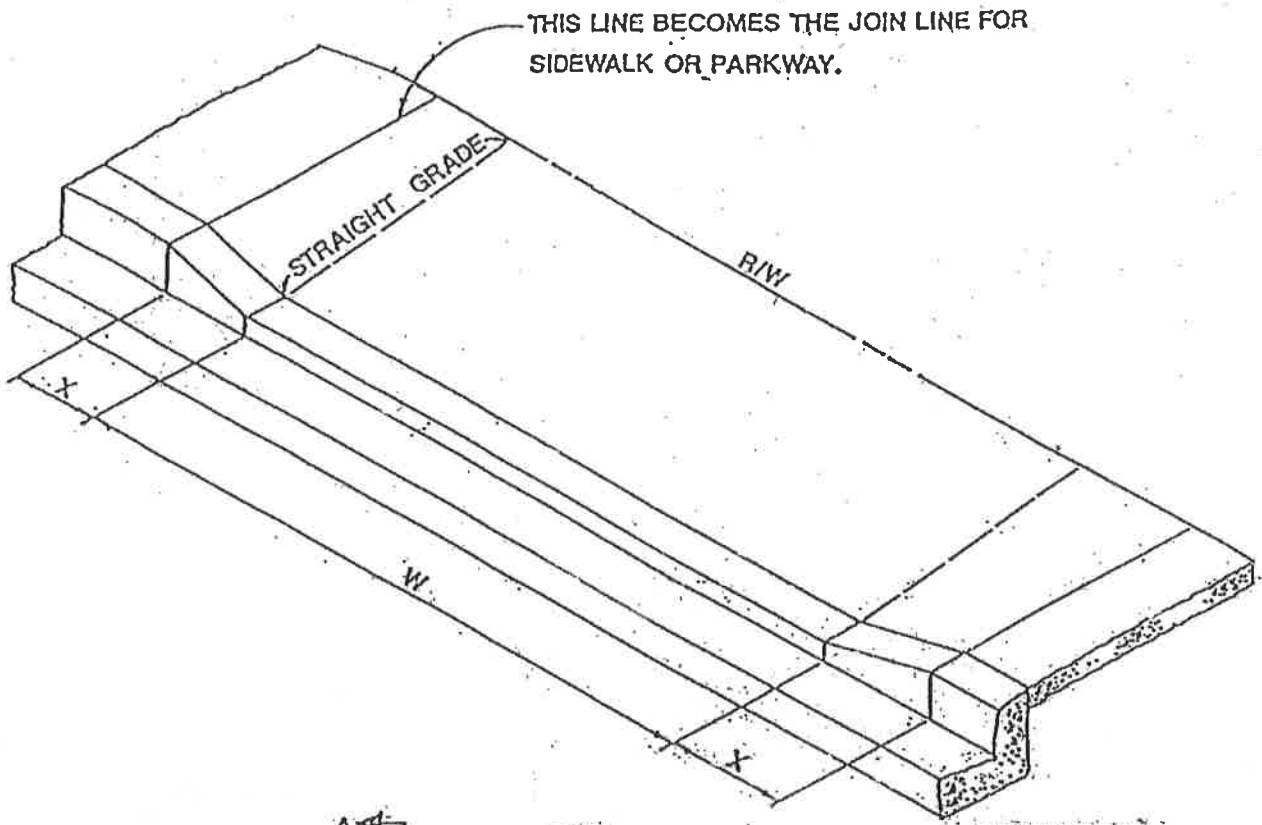
- Design profiles for the new or modified driveway at each edge and driveway centerline.
- These profiles shall run from centerline of the street to the parking space or garage floor slab, with elevations shown at not more than 5-foot intervals.
- The profiles shall show any overhead beam or obstruction (e.g., cantilevered second floor, architectural feature) demonstrating a minimum 7-foot vertical clearance.
- The licensed professional shall certify on the plans that the design vertical curve profiles are "drivable" using a design template for a standard vehicle.

Hermosa Beach Municipal Code:

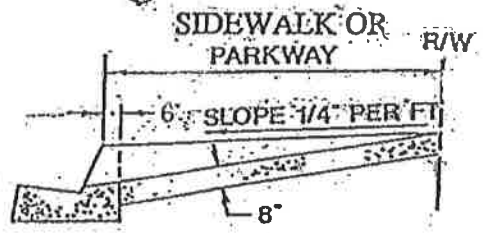
17.44.120(D) Driveways. No driveway providing access to any off-street parking space or garage shall have a slope greater than twenty (20) percent; provided, that any ramp slope in excess of twelve and one-half (12-1/2) percent includes transitions on each side with a minimum length of eight (8) feet and a maximum slope of one-half (1/2) the maximum ramp slope, in accordance with the driveway grade standards set forth below [graphic not shown here]; further, any area used for guest parking shall have a maximum slope of twelve and one-half (12-1/2) percent.

Attachment: Driveway Slope C-Sheet Requirement Attachment 08-03-2011

¹ Additions/remodels that are equal to or exceed 400 square feet that have no impact on the existing driveway maybe exempted from the stamped Civil Engineer requirement, with Public Works Department approval.



PLAN



SECTION A-A

Notes:

1. W = 20 to 30 ft. maximum width unless otherwise approved by the Dept. of Public Works.
2. X = 4 ft.
3. No obstructions within 4 ft. of top of "X".

REVISIONS	CITY OF HERMOSA BEACH		STANDARD PLAN NO. 103
	DEPARTMENT OF PUBLIC WORKS		
	COMMERCIAL DRIVEWAY		
	APPROVED BY: _____	DATE: _____	SHEET 1 of 1
	CITY ENGINEER R.E. NO. _____		